

# HONEYBEE POOL COMPLEX RE-ROOFING



1170 GOLF COURSE DR.  
ROHNERT PARK, CA 94928



LOCATION MAP



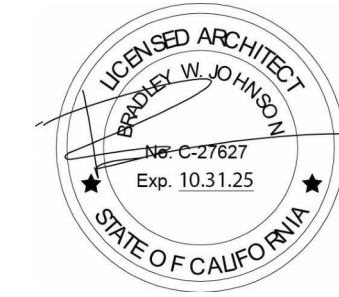
VICINITY MAP

JURISDICTIONAL STAMPING AREA

APPROVED FOR CONSTRUCTION:

*Vanessa Marin Garrett* 4/22/24  
 VANESSA MARIN GARRETT, R.C.E. 84141 DATE  
 CITY ENGINEER, CITY OF ROHNERT PARK  
 LICENSE EXPIRES SEPTEMBER 30, 2025

ARCHITECT



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CONSULTANT

PROJECT



HONEYBEE POOL  
RE-ROOF

1170 GOLF COURSE LN.  
ROHNERT PARK, CA  
94928

REVISIONS

SUBMITTAL 3/15/24

SHEET TITLE

## PROJECT DATA

PROJECT NO. 427-24  
 DRAWN BY: MK  
 CHECKED BY: BJ  
 SCALE: As indicated

DRAWING NO.

# A0.01

## TEAM DIRECTORY

**OWNER/ CLIENT:**  
 CITY OF ROHNERT PARK  
 PUBLIC WORKS DEPT.  
 600 ENTERPRISE DR.  
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## APPLICABLE CODES

2022 CALIFORNIA BUILDING STANDARDS ADMIN. CODE  
 2022 CALIFORNIA BUILDING CODE (CBC)  
 2022 CALIFORNIA MECHANICAL CODE (CMC)  
 2022 CALIFORNIA PLUMBING CODE (CPC)  
 2022 CALIFORNIA ELECTRICAL CODE (CEC)  
 2022 CALIFORNIA ENERGY CODE (TITLE 24)  
 2022 CALIFORNIA GREEN BUILDING STDS. CODE (CAL GREEN)  
 2022 CALIFORNIA REFERENCE STANDARDS CODE  
 2022 CALIFORNIA FIRE CODE  
 LOCAL MUNICIPAL CODE AND ZONING ORDINANCE

## SCOPE OF WORK

RE-ROOF TWO (2) EXISTING SINGLE STORY STRUCTURES.

**PURSUANT TO CALIFORNIA BUILDING CODE SECTION 11B-202.4, EXCEPTION 7.**  
*"PROJECTS CONSISTING ONLY OF HEATING, VENTILATING, AIR CONDITIONING, RE-ROOFING, ELECTRICAL WORK NOT INVOLVING PLACEMENT OF SWITCHES AND RECEPTABLES, COSMETIC WORK THAT DOES NOT AFFECT ITEMS REGULATED BY THIS CODE, SUCH AS PAINTING, EQUIPMENT NOT CONSIDERED TO BE A PART OF THE ARCHITECTURE OF THE BUILDING OR AREA, SUCH AS COMPUTER TERMINALS AND OFFICE EQUIPMENT SHALL NOT BE REQUIRED TO COMPLY WITH SECTION 11B-202.4 UNLESS THEY AFFECT THE USABILITY OF THE BUILDING OR FACILITY"*

## PROJECT DATA

APN: 143-280-42 & 143-280-62  
 OCCUPANCY TYPE: B-2  
 USE: PUBLIC SWIMMING POOL & RELATED STRUCTURES  
 CONSTRUCTION TYPE: V-N  
 YEAR BUILT: 1986  
 ZONING: AG

## DRAWING INDEX

A0.01 PROJECT DATA  
 A0.02 ABBREVIATIONS, NOTES & LEGENDS  
 A2.01 DEMOLITION ROOF PLAN  
 A2.02 ROOF PLAN  
 A3.01 BUILDING ELEVATIONS  
 A4.01 BUILDING SECTIONS  
 A8.01 DETAILS  
 TOTAL SHEET COUNT: 7

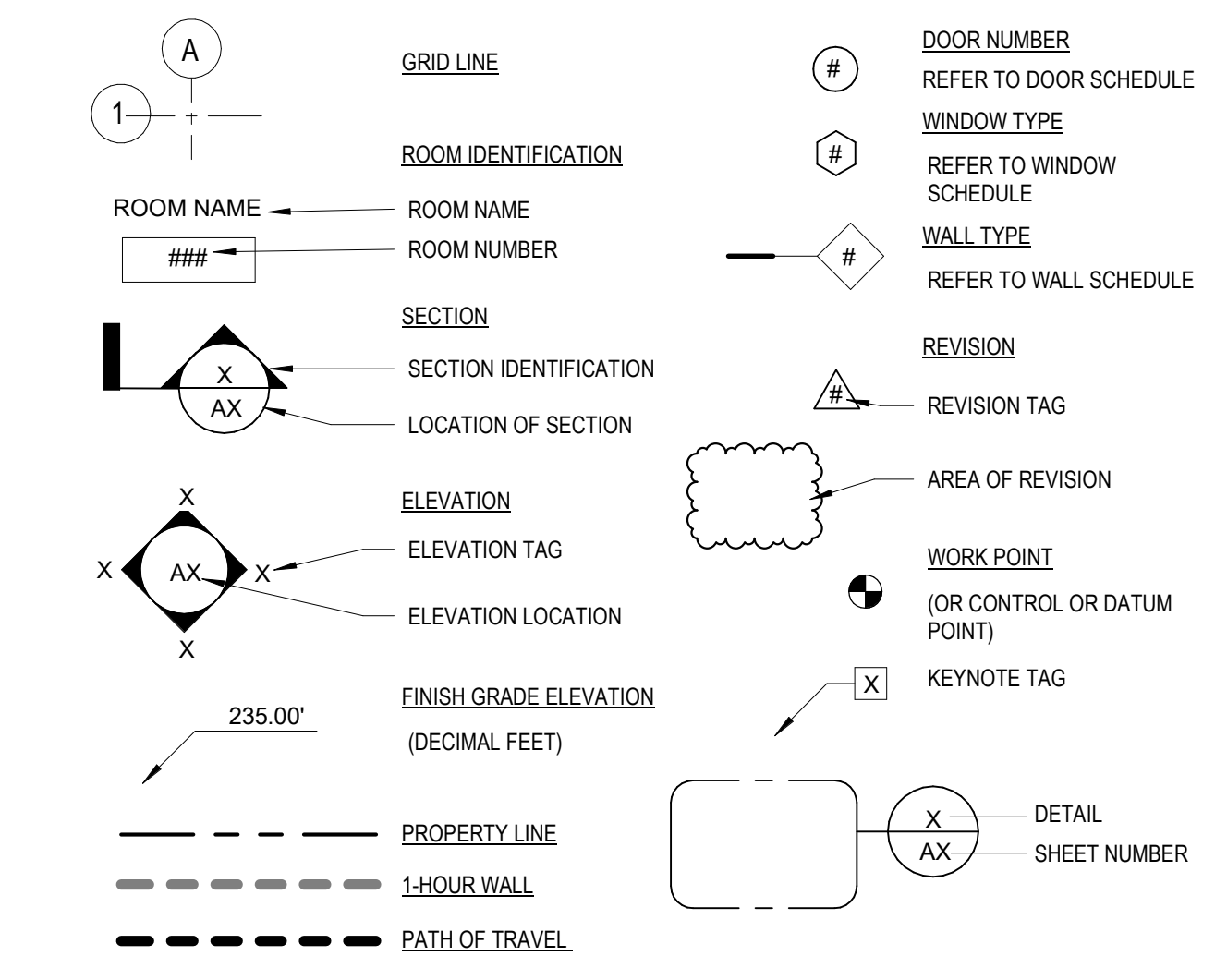
ABBREVIATIONS

A.C.P. ASPHALT CONCRETE PAVING	F.O.C. FACE OF CONCRETE	PL. PLATE
A.C.T. ACOUSTICAL TILE	F.O.F. FACE OF FINISH	PLAS. PLASTER
A.D. AREA DRAIN	F.O.M. FACE OF MASONRY	PLYWD. PLYWOOD
A.F.F. ABOVE FINISH FLOOR	F.O.S. FACE OF STUD	PR. PAIR
A.G. ALL GENDER	F.O.SH. FACE OF SHEATHING	PROP. PROPERTY
A.C. AIR CONDITIONING	F.P. FIRE PLACE	PTD. PAINTED
ACOUS. ACOUSTIC	F.R. FIRE RETARDANT	PTN. PARTITION
ADJ. ADJUSTABLE	F.R.P. FIBER REINFORCED PANEL	Q.T. QUARRY TILE
AGG. AGGREGATE	FDN. FOUNDATION	R.B. RUBBER BASE
AL. ALUMINUM	FLG. FIBERGLASS	R.C.P. REFLECTED CEILING PLAN/ RINFORCED CONCRETE PIPE
ALT. ALTERNATE	FIXT. FIXTURE	R.D. ROOF DRAIN
ALUM. ALUMINUM	FLASH. FLASHING	R.H. ROOF HATCH
APPROX. APPROXIMATE	FLR. FLOOR	R.O. ROUGH OPENING
X	FTG. FOOTING	R.W.L. RAIN WATER LEADER
ARCH. ARCHITECT	FURN. FURNACE/ FURNITURE	RAD. RADIUS
ASPH. ASPHALT	FUT. FUTURE	RDWD. REDWOOD
AVG. AVERAGE	G.B. GRAB BAR	REF. REFERENCE
B.O. BOTTOM OF	G.D. GARBAGE DISPOSAL	REFR. REFRIGERATOR
B.U.R. BUILT-UP ROOFING	G.I. GALVANIZED IRON	REINF. REINFORCING
BD. BOARD	G.L.B. GLUE LAMINATED BEAM	REQD. REQUIRED
BITUM. BITUMINOUS	G.S.M. GALVANIZED SHEET METAL	REV. REVISION
BLDG. BUILDING	GA. GAGE or GAUGE	R.H.M.S. ROUND HEAD METAL SCREW
BLK. BLOCK	GALV. GALVANIZED	RM. ROOM
BLKG. BLOCKING	GFCI GROUND FAULT CIRCUIT INTERRUPTER	S. SOUTH
BM. BENCH MARK OR BEAM	GL. GLASS	S.A.D. SEE ARCHITECTURAL DRAWINGS
BOT. BOTTOM	GND. GROUND	S.BLKG. SOLID BLOCKING
BRG. BEARING	GYP. GYPSUM BOARD	S.C. SOLID CORE
BRK. BRICK	BD.	S.C.D. SEE CIVIL DRAWINGS
BTWN. BETWEEN	H.B. HOSE BIB	S.D. SMOKE DETECTOR/ STORM DRAIN
C.B. CATCH BASIN	H.C. HOLLOW CORE	S.DISP. SOAP DISPENSER
C.I. CAST IRON	H.M. HOLLOW METAL	S.E.D. SEE ELECTRICAL DRAWINGS
C.J. CONSTRUCTION JOINT	H.P. HIGH POINT	S.F. SQUARE FEET
C.L. CENTER LINE	H.V.A.C. HEATING VENTILATION, AIR CONDITIONING	S.L.D. SEE LANDSCAPE DRAWINGS
C.M.U. CONCRETE MANSORY UNIT	H.W. WATER HEATER	S.M.D. SEE MECHANICAL DRAWINGS
C.O. CLEAN OUT	HDR. HEADER	S.P. SOUND PROOF
C.T. CERAMIC TILE	HDWD. HARDWOOD	S.S. SANITARY SEWER
C.W. COLD WATER	HDWR. HARDWARE	S.S.D. SEE STRUCTURAL DRAWINGS
CAB. CABINET	HORIZ. HORIZONTAL	S.S.TL. STAINLESS STEEL
CARP. CARPET	HR. HOUR	SEAL. SEALANT
CEM. CEMENT	HT. HEIGHT	SECT. SECTION
CER. CERAMIC	HTG. HEATING	SHR. SHOWER
CIR. CIRCLE	ID. INSIDE DIAMETER	SHT. SHEET
CLG. CEILING	INCL. INCLUDED	SHTG. SHEATHING
CLG.J. CEILING JOIST	INSUL. INSULATION	SM. SIMILAR
CLKG. CAULKING	INT. INTERIOR	SL. SLIDING
CL.O. CLOSET	INV. INVERT	SPEC. SPECIFICATION
CLR. CLEAR	J.H. JOIST HANGER	SQ. SQUARE
CLS. CLOSURE	JAN. JANITOR	SQ.FT. SQUARE FEET
CNTR. CENTER	JST. JOIST	ST. STAINED
COL. COLUMN	JT. JOINT	STA. STATION
COMB. COMBINATION	KIT. KITCHEN	STD. STANDARD
COMP. COMPOSITION	L.B. LAG BOLT	STL. STEEL
CONC. CONCRETE	L.L. LIVE LOAD	STO. STORAGE
CONN. CONNECTION	L.P. LOW POINT	STRUC. STRUCTURAL
CONST. CONSTRUCTION	LAB. LABORATORY	T. LIGHT
CONT. CONTINUOUS	LAM. LAMINATE	LV. LOW VOLTAGE
CTR. CENTER	LAV. LAVATORY	M.B. MATERIAL BOLT
D.O. DOOR OPENING	LIN. LINEN CLOSET	M.C. MEDICINE CABINET
D.S. DOWNSPOUT	CLO.	M.O. MASONRY OPENING
D.W. DISHWASHER	LPT. LOW POINT	M.R. MOISTURE RESISTANT
DBL. DOUBLE	LT. LIGHT	M.T. METAL THRESHOLD
DEMO. DEMOLITION	LV. LOW VOLTAGE	M.W. MICROWAVE
DEPT. DEPARTMENT	M.B. MATERIAL BOLT	MAT. MATERIAL
DIA. DIAMETER	M.C. MEDICINE CABINET	MAX. MAXIMUM
DIAG. DIAGONAL	M.O. MASONRY OPENING	MECH. MECHANICAL
DIM. DIMENSION	M.R. MOISTURE RESISTANT	MED. MEDIUM
DISP. DISPOSAL	M.T. METAL THRESHOLD	MEMB. MEMBRANE
DIV. DIVISION	M.W. MICROWAVE	MFG. MANUFACTURER
DN. DOWN	MAT. MATERIAL	MH. MANHOLE
DR. DOOR	MAX. MAXIMUM	MIN. MINIMUM
DWG. DRAWING	MECH. MECHANICAL	MIR. MIRROR
DWR. DRAWER	MED. MEDIUM	MISC. MISCELLANEOUS
E) EXISTING	MEMB. MEMBRANE	MOD. MODULAR
E.F. EXHAUST FAN	MFG. MANUFACTURER	MTL. METAL
E.J. EXPANSION JOINT	MH. MANHOLE	N) NEW
E.N. EDGE NAIL	MIN. MINIMUM	N. NORTH
E.S. EACH SIDE	MIR. MIRROR	N.I.C. NOT IN CONTRACT
E.W. EACH WAY	MISC. MISCELLANEOUS	N.T.S. NOT TO SCALE
EA. EACH	MOD. MODULAR	NAT. NATURAL
EE. EACH END	MTL. METAL	NO. NUMBER
EL. ELEVATION	N) NEW	NOM. NOMINAL
ELEC. ELECTRICAL	N. NORTH	O.A. OVERALL
ELEV. ELEVATION	N.I.C. NOT IN CONTRACT	O.C. ON CENTER
EMER. EMERGENCY	N.T.S. NOT TO SCALE	O.D. OUTSIDE DIAMETER
ENCL. ENCLOSURE	NAT. NATURAL	O) OVER
EQ. EQUIVALENT/ EQUAL	NO. NUMBER	OBS. OBSCURE
EQPT. EQUIPMENT	NOM. NOMINAL	OFD. OVERFLOW DRAIN
EXIST. EXISTING	O.A. OVERALL	OFF. OFFICE
EXP. EXPANSION	O.C. ON CENTER	OPP. OPPOSITE
EXP. B. EXPANSION BOLT	O.D. OUTSIDE DIAMETER	OSD. OPEN SITE DRAIN
EXPO. EXPOSURE	O) OVER	P.C.F. POUNDS PER CUBIC FOOT
EXT. EXTERIOR	OFD. OVERFLOW DRAIN	P.E.N. PANEL EDGE NAILING
F. FACE	OFF. OFFICE	P.LAM. PLASTIC LAMINATE
F.A. FIRE ALARM	OPP. OPPOSITE	P.M.F. PRESSED METAL FRAME CABINET
F.B. FACE BRICK	OSD. OPEN SITE DRAIN	P.O.T. PATH OF TRAVEL
F.B.O. FURNISHED BY OTHERS	P.C.F. POUNDS PER CUBIC FOOT	P.T. PRESSURE TREATED
F.BELL. FIRE BELL	P.E.N. PANEL EDGE NAILING	P.T.D. PAPER TOWEL DISPENSER
F.D. FLOOR DRAIN	F.E. FIRE EXTINGUISHER	P.T.D.F. PRESSURE TREATED DOUGLAS FIR
F.E. FIRE EXTINGUISHER	F.E.C. FIRE EXTINGUISHER CABINET	P.T.R. PAPER TOWEL RECEPTACLE
F.E.C. FIRE EXTINGUISHER CABINET	F.F. FINISH FLOOR	P.V.C. POLYVINYL-CHLORIDE
F.F. FINISH FLOOR	F.G. FINISH GRADE	PERF. PERFORATED
F.G. FINISH GRADE	F.H. FIRE HYDRANT	
F.H. FIRE HYDRANT	F.H.M.S. FLAT HEAD MACHINE SCREW	
F.H.M.S. FLAT HEAD MACHINE SCREW	F.J. FLOOR JOIST	
F.L. FLOOR LINE	F.L. FLOOR LINE	
F.N. FACE NAIL	F.N. FACE NAIL	
F.O.B. FACE OF BEAM	F.O.B. FACE OF BEAM	

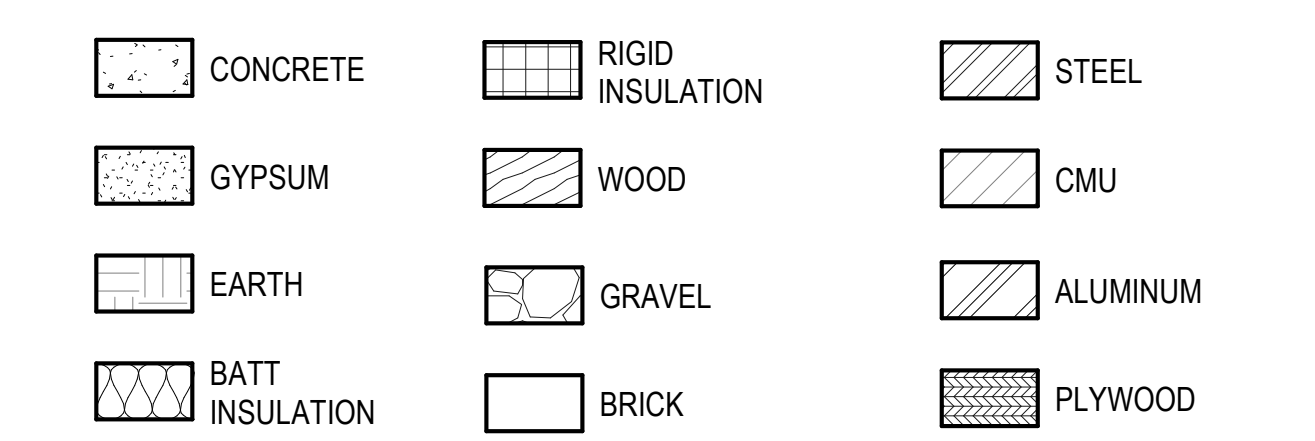
GENERAL NOTES

- DEFINITIONS: "TYPICAL" MEANS IDENTICAL FOR ALL CONDITIONS, UNLESS OTHERWISE NOTED. "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITION NOTED. "PROVIDE" MEANS TO FURNISH AND INSTALL. "FURNISH" MEANS TO FURNISH, AND OTHERS WILL INSTALL.
  - DIMENSIONING RULES: HORIZONTAL DIMENSIONS ARE SHOWN TO FACE OF FINISH UNLESS OTHERWISE NOTED. DIMENSIONS NOTED "HOLD", "CLEAR" MUST BE PRECISELY MAINTAINED. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF THE ARCHITECT OR UNLESS NOTED ( ). VERTICAL DIMENSIONS ARE FROM THE TOP OF STRUCTURAL FLOOR UNLESS OTHERWISE NOTED. VERTICAL DIMENSIONS FOR CASEWORK, ACCESSORIES, RAILS, ETC. ARE FROM THE FINISH FLOOR.
  - DO NOT SCALE DRAWINGS.
  - IF CONTRACTOR IS UNABLE TO LOCATE DIMENSIONS FOR ANY ITEM OF WORK, CONSULT WITH THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
  - DIMENSIONS MARKED V.I.F. SHALL BE "VERIFIED" BY THE CONTRACTOR WITH THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION.
  - THE ORIGINAL OF THESE DRAWINGS MEASURE 24" X 36". IF THE SHEETS IN USE ARE SMALLER THAN THE ORIGINAL THE SHEETS HAVE BEEN REDUCED IN SIZE AND THE SCALE MUST BE REDUCED ACCORDINGLY.
  - REPETITIVE ITEMS NOTED IN ONE CONDITION ARE TO BE PROVIDED COMPLETE IN ALL SIMILAR CONDITIONS.
  - DETAILS ARE KEYED TO REPRESENTATIVE LOCATIONS ONLY AND APPLY TO ALL SIMILAR CONDITIONS.
  - DURING BIDDING AND CONSTRUCTION PHASE, CONTRACTOR SHALL VERIFY ALL EXISTING AND NEW DIMENSIONS IN THE FIELD. ANY CONFLICT OR DISCREPANCY BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, IN WRITING, BEFORE PROCEEDING WITH ANY WORK OR PRESENTATION OF THE BID.
  - ONLY WRITTEN DIMENSIONS ON DRAWINGS SHALL BE USED; DO NOT SCALE THE DRAWINGS.
  - ALL WORK SHALL CONFORM TO THE APPLICABLE EDITION OF THE LOCAL BUILDING CODES, ALL OTHER GOVERNING CODES, AMENDMENTS, RULES REGULATIONS, ORDINANCES, LAWS, ORDERS, APPROVALS, ETC., THAT ARE REQUIRED BY PUBLIC AUTHORITIES WITH JURISDICTION OVER THIS PROJECT. IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENT SHALL APPLY.
  - QUESTIONS REGARDING DOCUMENTS, DISCREPANCIES, DOUBTS AS TO MEANING, OMISSIONS OR CONFLICTS IN THE VARIOUS PARTS OF THE CONTRACT DOCUMENTS SHALL BE REFERRED IMMEDIATELY TO THE ARCHITECT, IN WRITING, BEFORE PROCEEDING WITH THE WORK.
  - CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST BETWEEN THE LOCATION OF ANY NEW AND EXISTING MECHANICAL, TELEPHONE, ELECTRICAL, LIGHTING, PLUMBING (INCLUDING ALL PIPING, DUCTWORK AND CONDUIT). CONTRACTOR SHALL ENSURE THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ABOVE EQUIPMENT ARE PROVIDED.
  - ANY CONFLICT MUST BE RESOLVED IN WRITING BEFORE INSTALLATION OF WORK IN THE AREA OF CONFLICT.
  - PROVIDE STRUCTURAL BACKING FOR ALL NEW CABINETS, GRAB BARS, TOILET ROOM, EQUIPMENT, KITCHEN EQUIPMENT, SHELVES, HARDWARE, LIGHTING FIXTURES, WALL TRELLISES, WALL CANOPIES AND OTHER BUILDING ELEMENTS REQUIRING SECURE ANCHORAGE.
  - CONTRACTOR SHALL MAINTAIN STRICT CONTROL OF CLEANLINESS AND PREVENT DUST FROM LEAVING CONSTRUCTION AREAS. CONSTRUCTION VEHICLES AND EQUIPMENT SHALL BE DEPLOYED IN A MANNER WHICH CAUSES AS LITTLE DISRUPTION AS POSSIBLE.
  - SEALANT, CAULKING AND FLASHING LOCATIONS SHOWN ON DRAWINGS ARE NOT INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURERS' INSTALLATION RECOMMENDATIONS AND STANDARDS INDUSTRY PRACTICES.
  - SAFETY MEASURES: AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF THE PERSONS AND PROPERTY, AND FOR ALL NECESSARY INDEPENDENT ENGINEERING REVIEWS OF THESE CONDITIONS. THE ARCHITECT'S OR ENGINEER'S JOB SITE VISITS ARE NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.
  - THE CONTRACTOR SHALL ENSURE FREE FLOW OF AIR FOR VENTED ATTICS, INTERSTITIAL SPACES, AND ROOF DECKING. THIS SHALL INCLUDE DRILLING OF FRAMING MEMBERS, PROVISION OF ADDITIONAL BLOCKING, AND/OR PROVISION OF INSULATION Baffle AND OTHER MEANS. DRILLING OR NOTCHING FRAMING MEMBERS SHALL BE DONE WITH PRIOR APPROVAL OF THE ARCHITECT.
  - THE DESIGN ADEQUACY AND SAFETY OF THE ERECTION BRACING, SHORING AND TEMPORARY SUPPORTS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. OBSERVATION VISITS TO THE JOB SITE BY PERSONNEL FROM THE ARCHITECT SHALL NOT INCLUDE INSPECTION OR APPROVAL OF THE ABOVE ITEMS.
  - THESE PLANS ARE THE PROPERTY OF STRATAAP AND ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY WORK OTHER THAN THE LOCATIONS SHOWN HEREIN.
- PARTITION NOTES**
- STUD SPACING SHALL BE A MAXIMUM SPACING OF 16" O.C..
  - BRACE AND ANCHOR ALL PARTITIONS.
  - USE MOISTURE RESISTANT GYPSUM BOARD FOR BOTH SIDES OF ALL PARTITIONS WHERE PLUMBING IS CONCEALED.
  - AT PARTITIONS WITH MORE THAN ONE LAYER OF GYPSUM BOARD, STAGGER ALL JOINTS.
- FINISH NOTES**
- REFER TO SPECIFICATIONS FOR THE REQUIREMENTS FOR THE APPLICATIONS OF FINISHES TO VARIOUS SUBSTRATES.
  - CENTER THE TRANSITION OF FLOORS OCCURRING IN DOOR OPENINGS UNDER THE CENTER OF THE DOOR IN THE CLOSED POSITION, UNLESS OTHERWISE NOTED.
- REFLECTED CEILING PLAN NOTES**
- SMOKE DETECTORS SHALL BE ELECTRICALLY POWERED WITH BATTERY BACK-UP.
  - COORDINATE WITH ALL TRADES INVOLVED AND ENSURE CLEARANCES FOR FIXTURES, DUCTS, PIPING, CONDUITS, ETC., NECESSARY TO
  - MAINTAIN THE SPECIFIED FINISH CEILING HEIGHT(S) ABOVE THE FINISH FLOOR SLAB AND CLEARANCES REQUIRED FOR MAINTENANCE.
  - GANG AND FINISH ELECTRICAL SWITCHES WITH A ONE PIECE COVERPLATE WHEN MORE THAN ONE SWITCH IS REQUIRED AT THE SAME LOCATION.
- CLEAN SITE NOTE:**  
THE CONTRACTOR SHALL KEEP THE WORK SITE, STAGING AREAS, AND OTHER AREAS USED BY THE WORKERS IN A NEAT AND CLEAN CONDITION, AND FREE FROM ANY ACCUMULATION OF TRASH. THE CONTRACTOR SHALL DISPOSE OF ALL TRASH, RUBBISH, AND WASTE MATERIALS OF ANY KIND GENERATED BY THE CONTRACTOR, SUBCONTRACTOR OR ANY COMPANY HIRED BY THE CONTRACTOR ON A DAILY BASIS. THE CONTRACTOR SHALL ALSO KEEP HAUL ROADS FREE FROM DIRT, RUBBISH, AND UNNECESSARY OBSTRUCTIONS RESULTING FROM SITE OPERATIONS. DISPOSAL OF ALL TRASH, RUBBISH, AND DEBRIS MATERIALS SHALL BE IN A COVERED WASTE RECEPTACLE OR HAILED OFF SITE. IN ACCORDANCE WITH LOCAL CODES AND ORDINANCES GOVERNING LOCATIONS AND METHODS OF DISPOSAL, AND IN CONFORMANCE WITH ALL APPLICABLE LAWS AND REGULATIONS. WASTE RECEPTACLES SHALL BE COVERED AT THE END OF EVERY DAY AND DURING RAIN EVENTS.

SYMBOL LEGEND



MATERIAL LEGEND



HOURS OF OPERATIONS

- CONSTRUCTION HOURS SHALL BE LIMITED FROM 8 AM TO 6 PM, MONDAY THROUGH FRIDAY, EXCLUDING HOLIDAYS. THIS RESTRICTION SHALL INCLUDE THE START UP OF ANY MOTORIZED EQUIPMENT.
- ALL CONTRACTOR'S EQUIPMENT SHALL BE PROPERLY MUFFLED, AND SHALL BE SHUT DOWN WHEN NOT IN USE.

JURISDICTIONAL STAMPING AREA

APPROVED FOR CONSTRUCTION:

*Vanessa Marin Garrett* 4/22/24

VANESSA MARIN GARRETT, R.C.E. 84141 DATE

CITY ENGINEER, CITY OF ROHNERT PARK

LICENSE EXPIRES SEPTEMBER 30, 2025

ARCHITECT

**STRATA** ARCHITECTURE

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CONSULTANT

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Rohnert Park

HONEYBEE POOL  
RE-ROOF

1170 GOLF COURSE LN.  
ROHNERT PARK, CA  
94928

REVISIONS

SUBMITTAL 3/15/24

SHEET TITLE

ABBREVIATIONS, NOTES & LEGENDS

PROJECT NO. 427-24

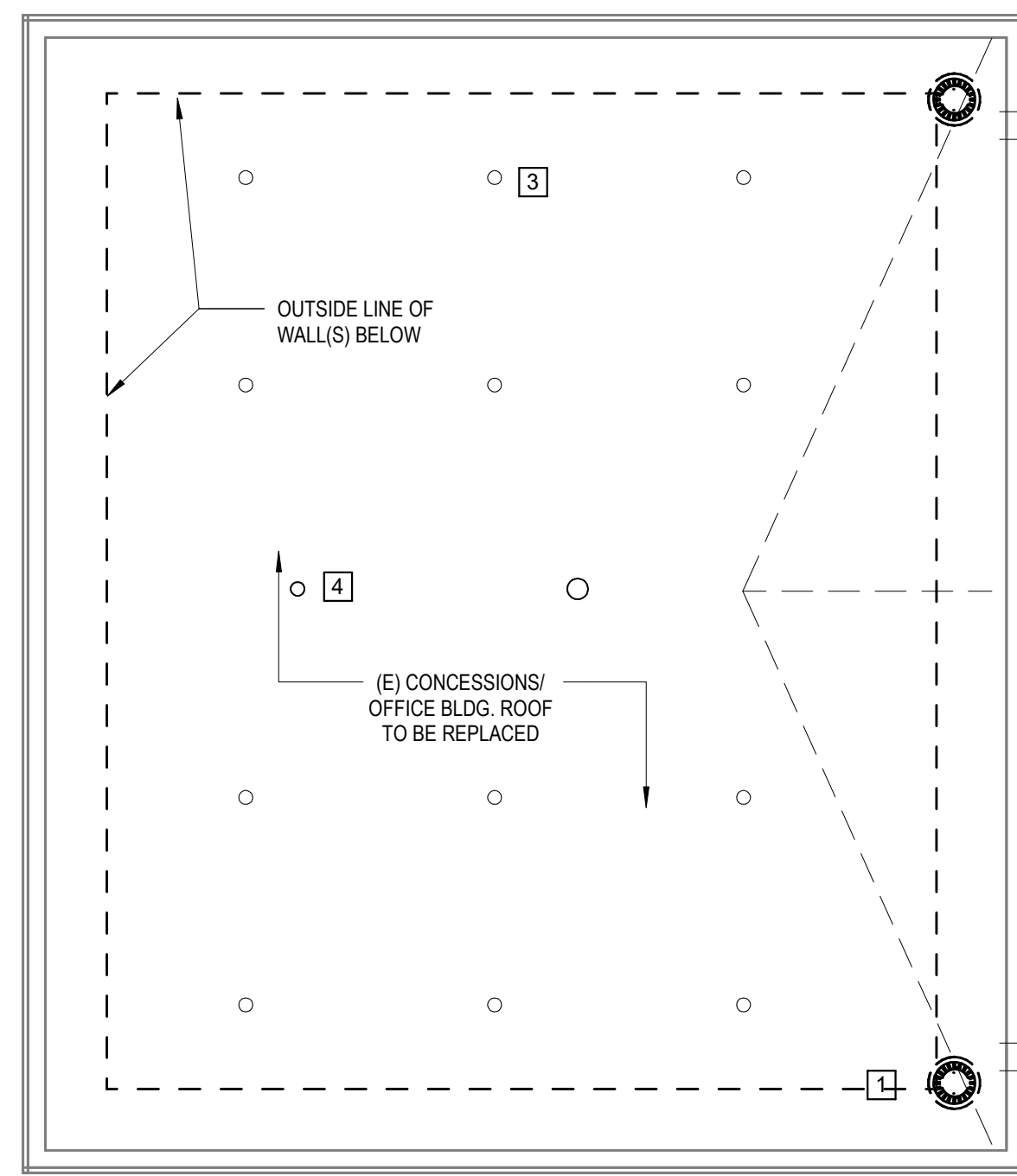
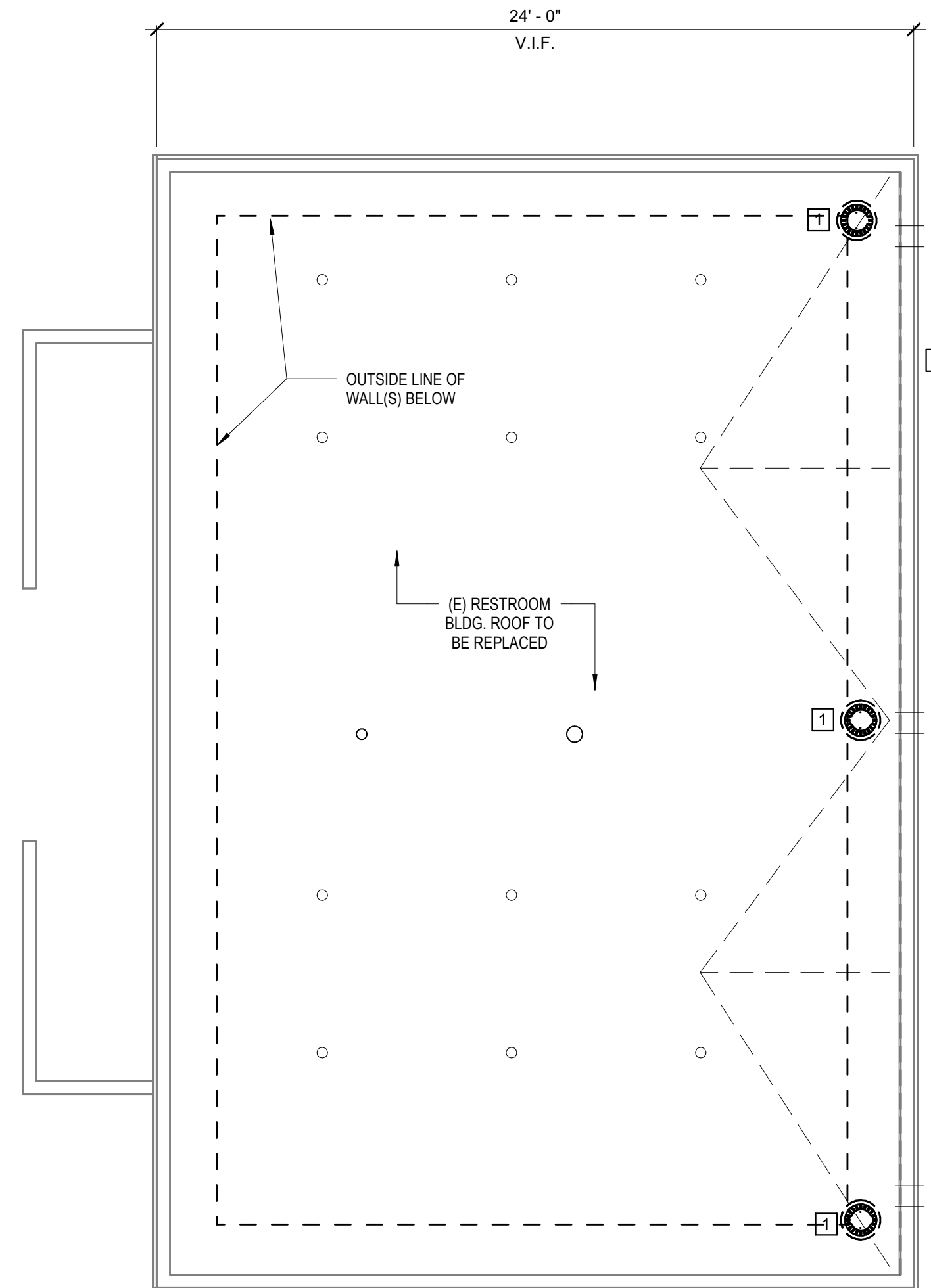
DRAWN BY: MK

CHECKED BY: BJ

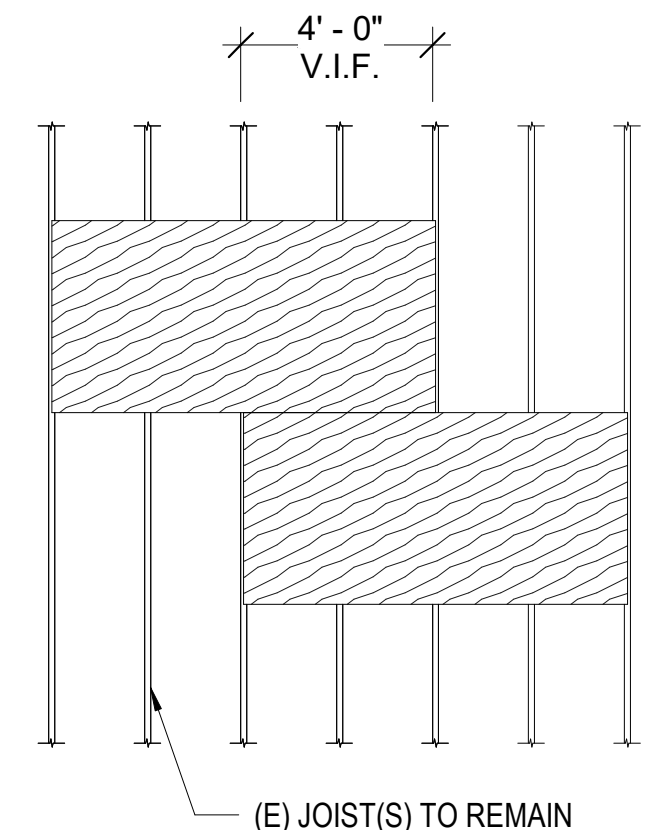
SCALE: As indicated

DRAWING NO.

**A0.02**



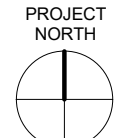
**NOTE:** IF ANY ROT OR DAMAGE IS DISCOVERED DURING DEMOLITION TO ANY PART OF PLYWOOD SHEATHING SUBSTRATE PROVIDE COMPLETE NEW PLYWOOD SHEET; DO NOT PROVIDE PARTIAL SHEETS. REPLACED PLYWOOD SHALL MATCH (E) PLYWOOD SHEATHING THICKNESS AND ORIENTATION. FASTEN WITH 10d NAILS AT 4" O.C. ALONG EDGES & AT 12" O.C. IN THE FIELD.



**EXISTING NAILING SCHEDULE:** V.I.F. 3/4" PLYWOOD SHTG. 10d @ 6" O.C. EDGE NAILS AND 10d @ 12" O.C. FIELD

② REPLACEMENT SHEATHING  
1/4" = 1'-0"

① DEMOLITION ROOF PLAN  
1/4" = 1'-0"



**DEMOLITION GENERAL NOTES**

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS & REQUIRED CLEARANCES W/ EQUIPMENT & COORDINATE W/ ARCHITECTURAL DETAILS PRIOR TO ORDERING AND INSTALLATION
2. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCY IN THE FIELD
3. REMOVE ALL UNDERLAYMENT AND METAL FLASHING; PREPARE AREA OF (E) WOOD SUBSTRATE TO ACCEPT NEW UNDERLAYMENT & ROOFING AS SPECIFIED
4. ALL ITEMS TO REMAIN SHALL BE PROTECTED IN PLACE
5. CONTRACTOR SHALL VERIFY ALL QUANTITIES
6. CONTRACTOR SHALL VERIFY ALL DIMENSIONS & REQUIRED CLEARANCES W/ EQUIPMENT & COORDINATE W/ ARCHITECTURAL DETAILS PRIOR TO ORDERING AND INSTALLATION

**DEMOLITION SCOPE OF WORK**

1. SHORING IS THE RESPONSIBILITY OF THE CONTRACTOR.
2. IF DEMOLITION REMOVAL WORK REQUIRES ANY INVASION TO (E) BUILDING STRUCTURE, THEN CONTRACTOR SHALL NOTIFY ARCHITECT FOR APPROVAL PRIOR TO PERFORMING THE WORK.
3. DEMOLITION WORK SHALL BE SUFFICIENT TO COMPLETE THE (N) WORK SHOWN IN THESE DRAWING.
4. NEATLY CUT AND REMOVE FINISHES AS REQUIRED TO A NATURAL POINT OF DIVISION TO ENABLE INSTALLATION OF BLOCKING, BACKING, FRAMING, SHEATHING, UTILITIES, OR OTHER CONCEALED WORK WHETHER SPECIFICALLY SHOWN OR INFERRED FOR NEW WORK; REFER TO OTHER DRAWINGS FOR CONCEALED WORK.
5. DUST CONTROL SHALL BE IMPLEMENTED DURING DEMOLITION.
6. ITEM(S) TO BE SALVAGED SHALL BE REMOVED BY CONTRACTOR AND SAFELY STORED FOR REUSE; COORDIATE WITH OWNER AND ARCHITECT,
7. ALL ITEM(S) TO REMAIN SHALL BE PROTECTED IN-PLACE.

DIAGONAL HATCH DENOTES AREA OF DEMOLITION; SEE NOTES ABOVE.

**KEYED NOTES**

- ① EXISTING ROOF DRAIN AND OVERFLOW TO BE REMOVED AND REPLACED
- ② EXISTING PARAPET COPINGS TO BE REMOVED AND REPLACED
- ③ EXISTING SOLAR STANDARDS TO BE REMOVED, TYPICAL
- ④ EXISTING PLUMBING VENTS TO REMAIN; G.C. TO VERIFY QUANTITY AND SIZE
- 
- 
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JURISDICTIONAL STAMPING AREA  
**APPROVED FOR CONSTRUCTION:**  
  
 VANESSA MARIN GARRETT, R.C.E. 84141 DATE 4/22/24  
 CITY ENGINEER, CITY OF ROHNERT PARK  
 LICENSE EXPIRES SEPTEMBER 30, 2025

ARCHITECT  
**STRATA** AIP  
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 P.O. BOX 1207  
 Sonoma, CA 95476  
 T 707.935.7944  
 www.STRATAap.com

CONSULTANT

PROJECT

**HONEYBEE POOL  
 RE-ROOF**  
 1170 GOLF COURSE LN.  
 ROHNERT PARK, CA  
 94928

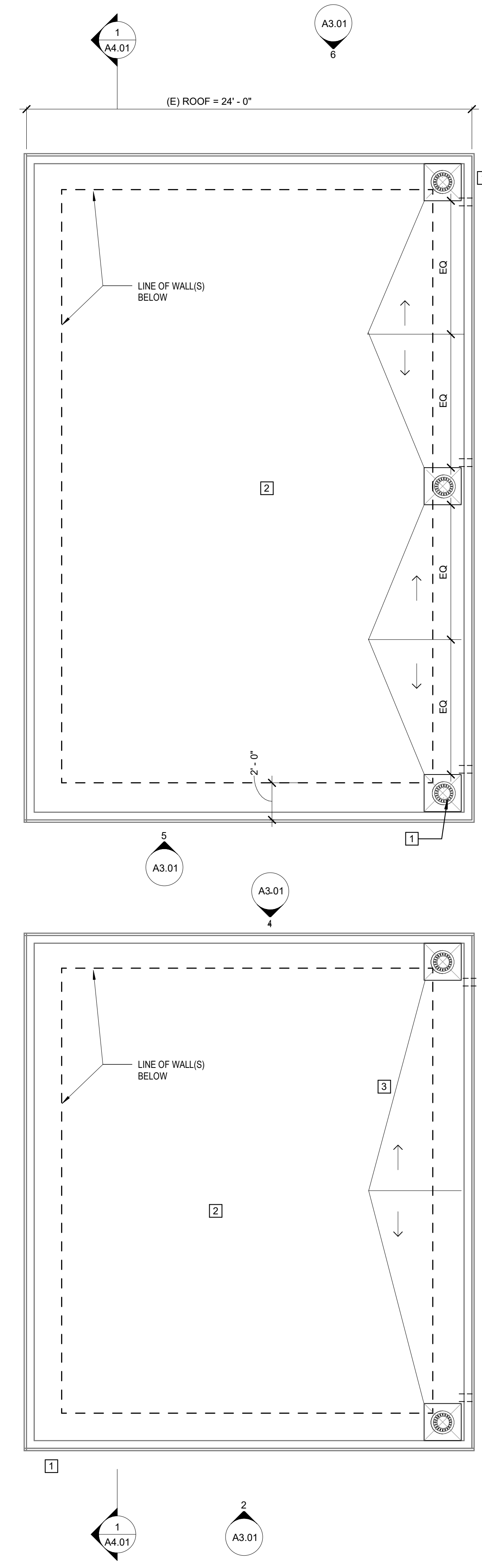
REVISIONS  
 SUBMITTAL 3/15/24

SHEET TITLE

**DEMOLITION ROOF PLAN**

PROJECT NO. 427-24  
 DRAWN BY: MK  
 CHECKED BY: BJ  
 SCALE: 1/4" = 1'-0"

DRAWING NO.  
**A2.01**



1 ROOF PLAN  
1/4" = 1'-0"

GENERAL NOTES - ROOF PLAN

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS & REQUIRED CLEARANCES W/ EQUIPMENT & COORDINATE W/ ARCHITECTURAL DETAILS PRIOR TO ORDERING AND INSTALLATION
2. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCY IN THE FIELD

SHEET NOTES ROOFING SCOPE

1. REMOVE AND PROPERLY DISPOSE OF ALL EXISTING COMPONENTS AND ROOFING MATERIAL DOWN TO THE DECK.
2. PROPERLY CLEAN AND PRIME THE DECK AS REQUIRED.
3. ATTACH A 'VAPOR SMART SA' BARRIER SHEET.
4. INSTALL A POLYISOCYANURATE INSULATION SYSTEM A MINIMUM FINISH SLOPE OF 1/4" PER 12", MECHANICALLY ATTACHED.
5. INSTALL TAPERED CRICKETS BEHIND ALL CURBS AND BETWEEN DRAINS FOR CONSTANT POSITIVE DRAINAGE, NO PONDING WATER ACCEPTED.
6. MINIMUM SLOPE OF CRICKET TO BE 3/4" PER 12".
7. INSTALL A 1/2" DENSDECK PRIME, FULLY ADHERED WITH INSUL-LOCK HR.
8. INSTALL ONE LAYER OF STRESS-BASE PLUS 80 IN GREEN-LOCK MEMBRANE ADHESIVE.
9. INSTALL ONE LAYER OF KEE-STONE 60 FB MINERAL IN KEE-LOCK SPLATTER FOAM.
10. NEW 24-GAUGE KYNAR COATED PERIMETER R-MER EDGER COPING CAP ASSEMBLY AND PROJECTION METAL FLASHING.
11. INSTALL NEW SCUPPERS WITH MANUFACTURER PROVIDED CLAD METAL.
12. INSTALL NEW ZURN 100, OR EQUAL DRAINS AS INDICATED ON PLANS.
13. NO CONDUITS SHALL BE MOUNTED TO THE WALL FLASHINGS.
14. ALL ROOF TOP MOUNTED CONDUITS OR GAS LINES SHALL BE MOUNTED TO AN EQUIPMENT SUPPORT EVERY 20' OR AT ALL CORNERS THE SUPPORTED WITH FLOATING RUBBER DURABLOCK 7' O.C.
15. CLEAN UP THE PROJECT SITE DAILY.

KEYED NOTES

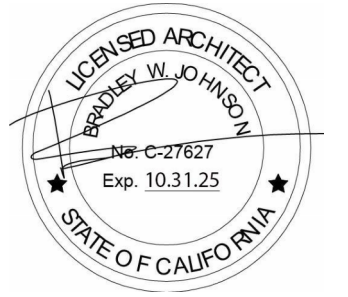
- 1 PARAPET COPING SYSTEM; SEE ROOF NOTES.
- 2 BUILT-UP ROOFING, TYP.; SEE SPECIFICATIONS.
- 3 BUILT-UP WATER DIVERTER (CRICKET)

JURISDICTIONAL STAMPING AREA

APPROVED FOR CONSTRUCTION:

*Vanessa Marin Garrett* 4/22/24  
 VANESSA MARIN GARRETT, R.C.E. 84141 DATE  
 CITY ENGINEER, CITY OF ROHNERT PARK  
 LICENSE EXPIRES SEPTEMBER 30, 2025

ARCHITECT



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HONEYBEE POOL  
 RE-ROOF

1170 GOLF COURSE LN.  
 ROHNERT PARK, CA  
 94928

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SHEET TITLE

ROOF PLAN

PROJECT NO. 427-24

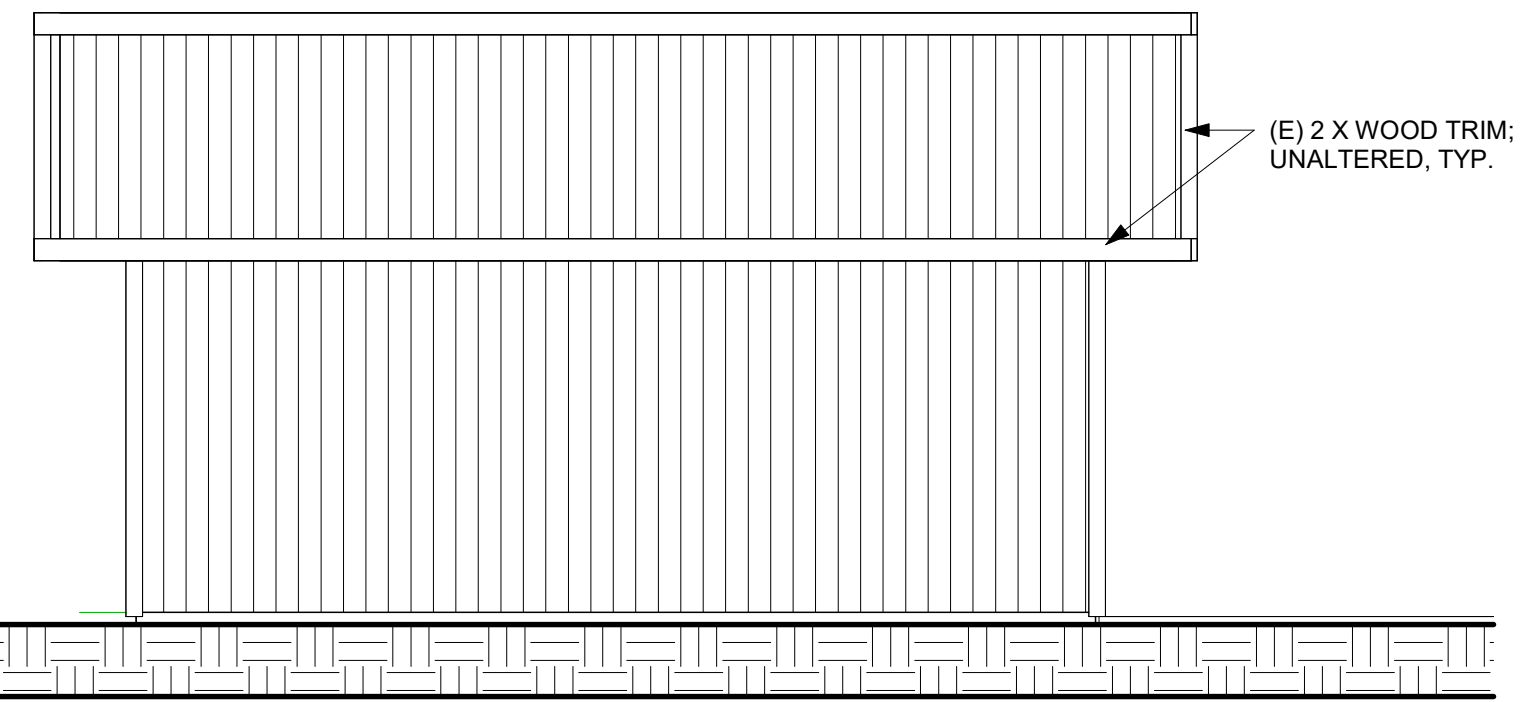
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CHECKED BY: BJ

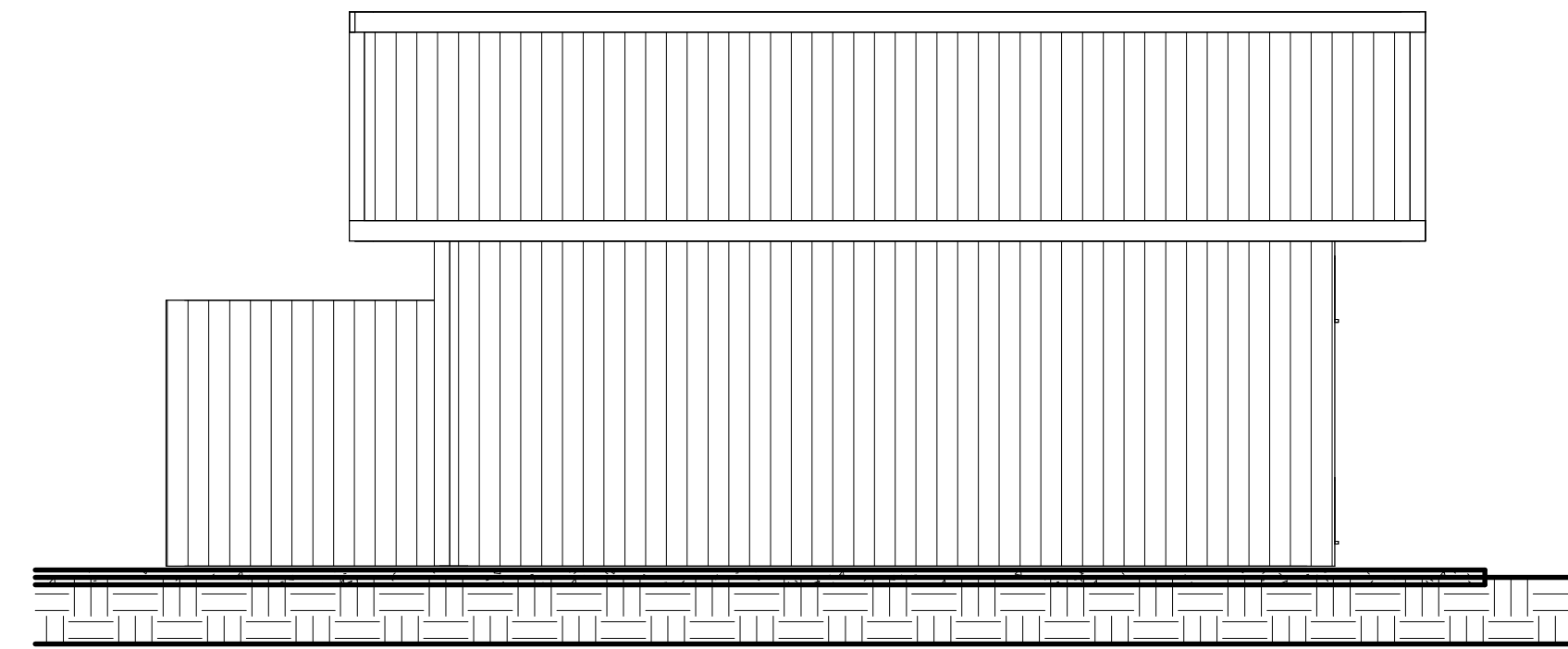
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DRAWING NO.

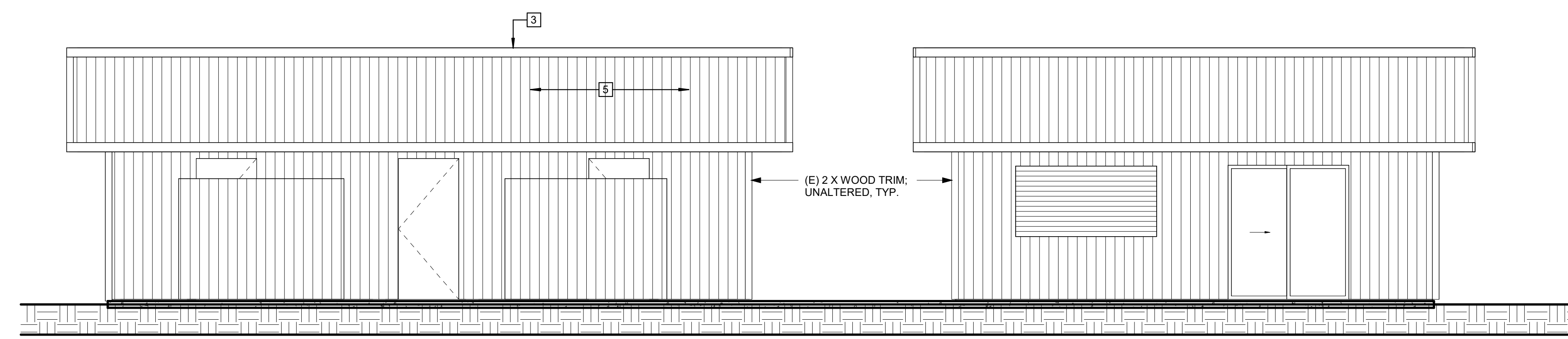
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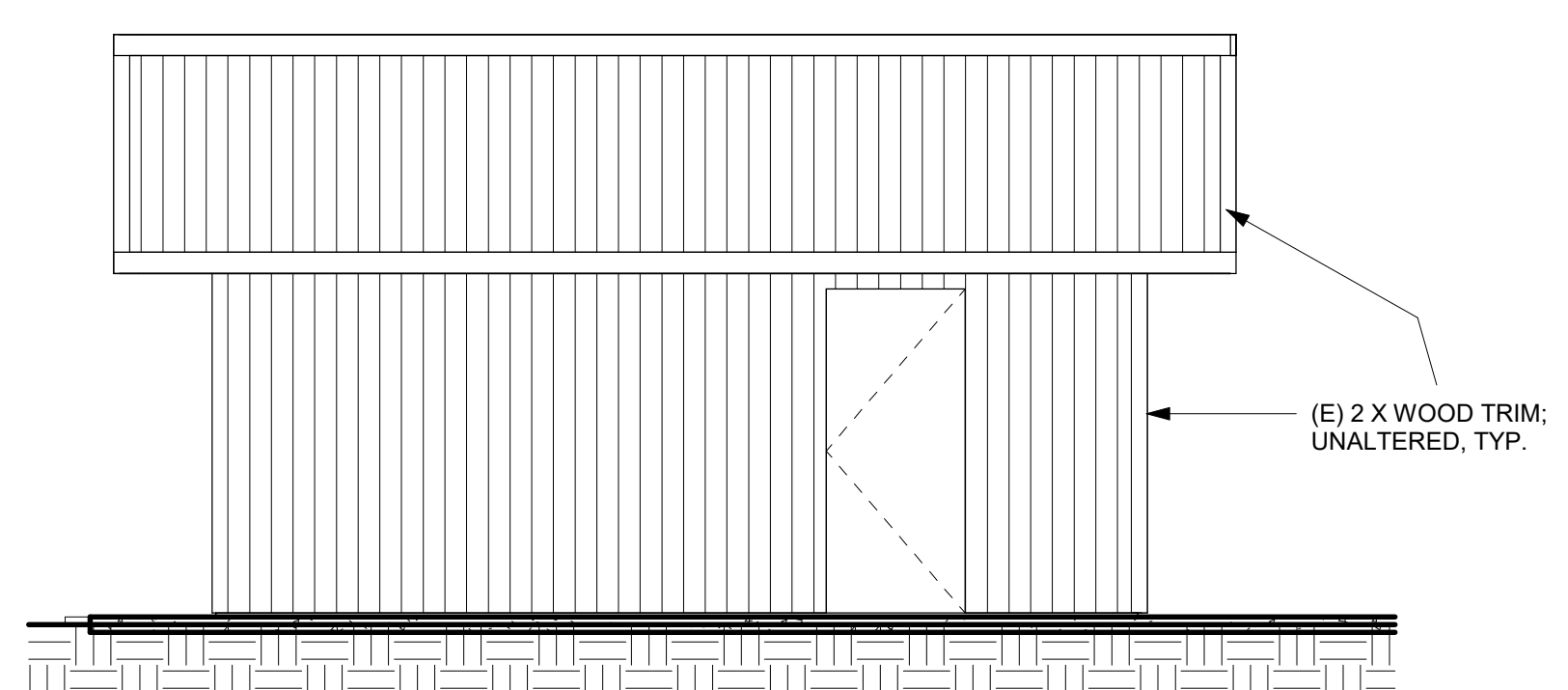
6 NORTH WALL - RESTROOMS  
1/4" = 1'-0"



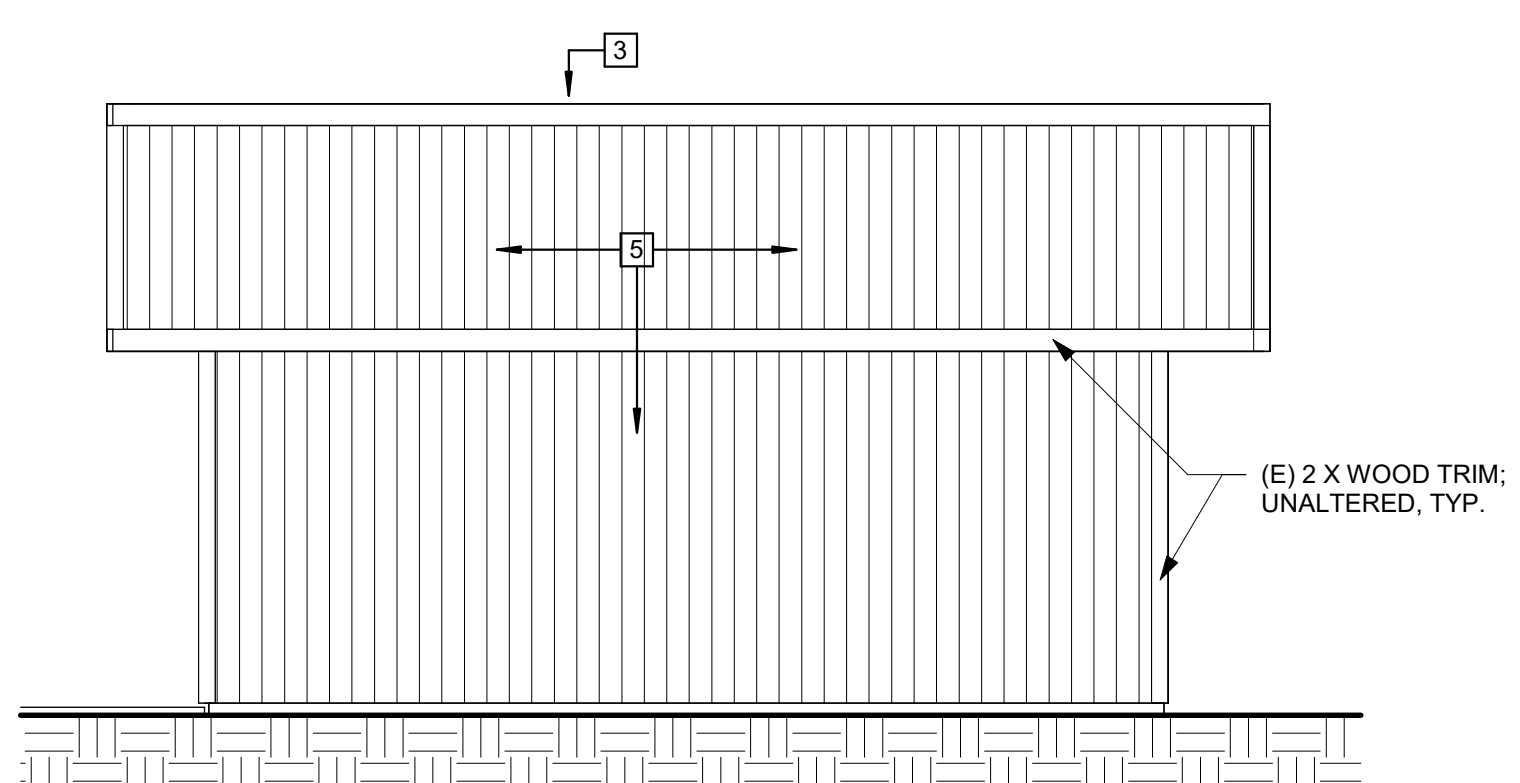
5 SOUTH WALL - RESTROOMS  
1/4" = 1'-0"



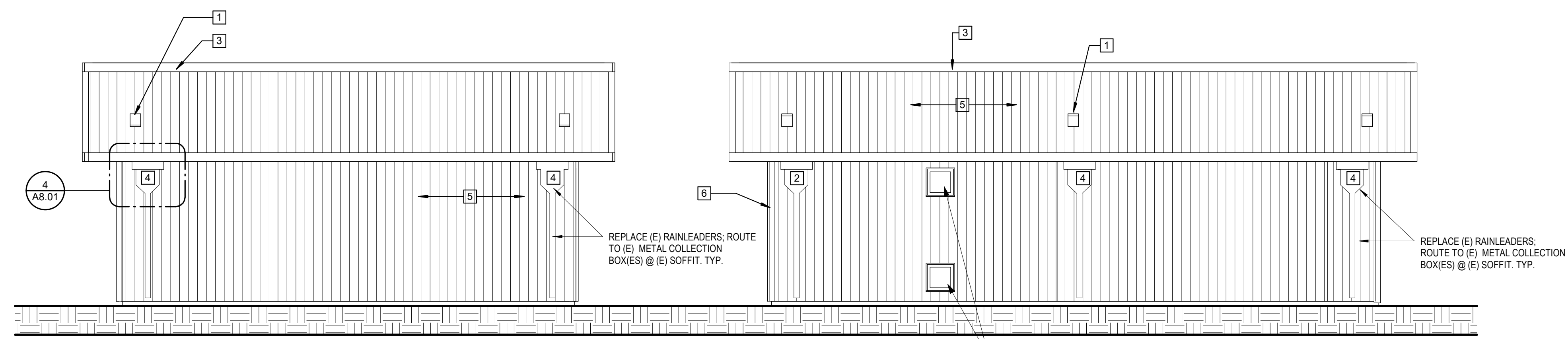
4 WEST WALLS (FACING POOL)  
1/4" = 1'-0"



3 NORTH WALL - CONCESSIONS  
1/4" = 1'-0"



2 SOUTH WALL - CONCESSIONS  
1/4" = 1'-0"



1 EAST ELEVATION (FACING PARKING)  
1/4" = 1'-0"

GENERAL NOTES

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2. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCY IN THE FIELD

JURISDICTIONAL STAMPING AREA

APPROVED FOR CONSTRUCTION:

*Vanessa Marin Garrett* 4/22/24

VANESSA MARIN GARRETT, R.C.E. 84141 DATE  
CITY ENGINEER, CITY OF ROHNERT PARK  
LICENSE EXPIRES SEPTEMBER 30, 2025

ARCHITECT

**STRATA** AIP  
ARCHITECTURE

LICENSED ARCHITECT  
VANESSA MARIN GARRETT  
C-271637  
Exp. 10.31.25  
STATE OF CALIFORNIA

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Sonoma, CA 95476  
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RE-ROOF

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SUBMITTAL	3/15/24
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SHEET TITLE

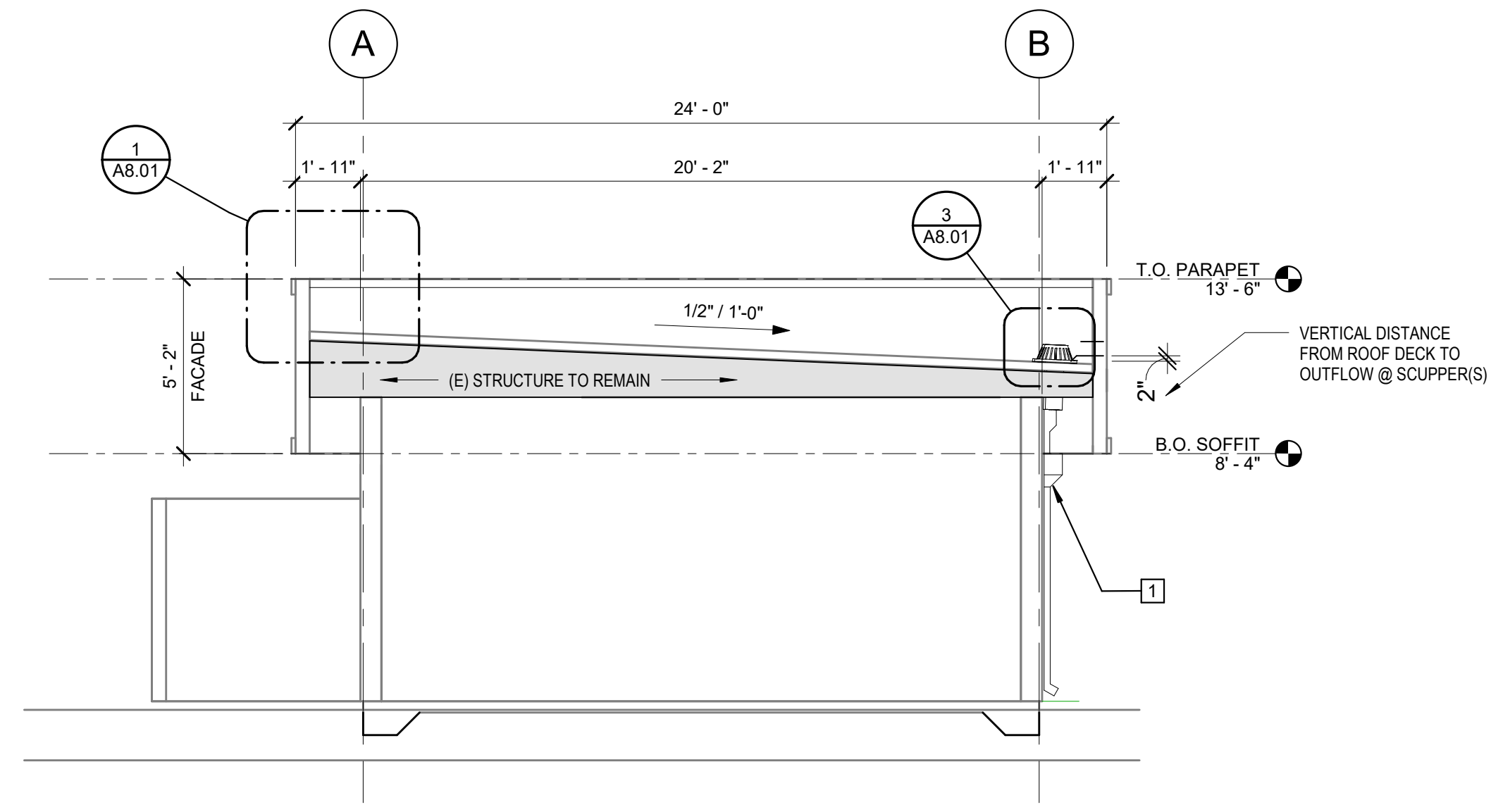
BUILDING ELEVATIONS

PROJECT NO. 427-24  
DRAWN BY: MK  
CHECKED BY: BJ  
SCALE: 1/4" = 1'-0"

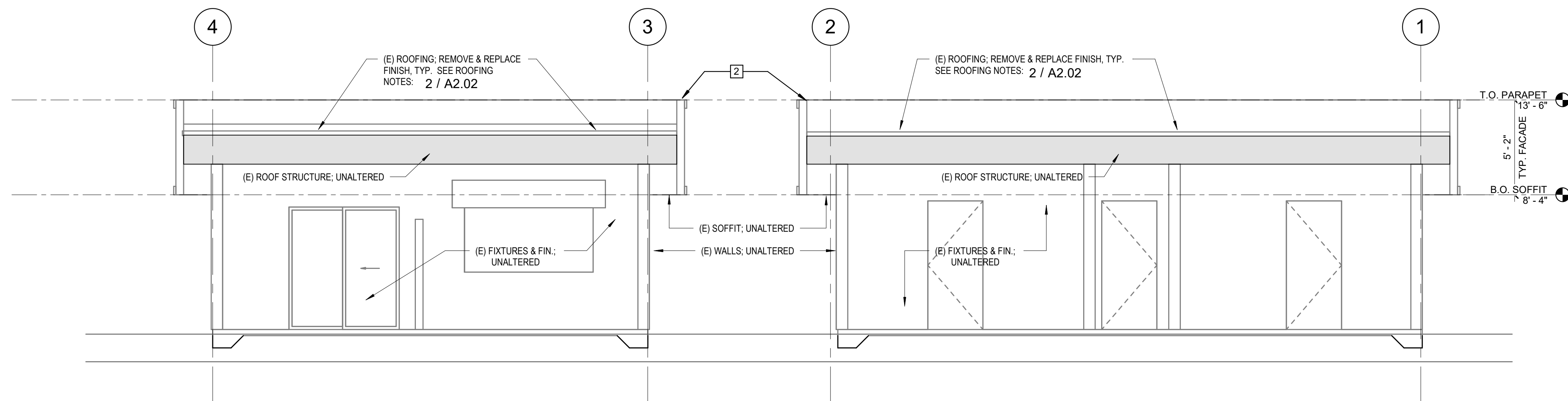
DRAWING NO.

**A3.01**

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3/26/2024 8:45:27 AM



2 WEST-EAST SECTION  
1/4" = 1'-0"



1 NORTH-SOUTH SECTION  
1/4" = 1'-0"

### GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS & REQUIRED CLEARANCES W/ EQUIPMENT & COORDINATE W/ ARCHITECTURAL DETAILS PRIOR TO ORDERING AND INSTALLATION
- NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCY IN THE FIELD

JURISDICTIONAL STAMPING AREA

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*Vanessa Marin Garrett* 4/22/24  
 VANESSA MARIN GARRETT, R.C.E. 84141 DATE  
 CITY ENGINEER, CITY OF ROHNERT PARK  
 LICENSE EXPIRES SEPTEMBER 30, 2025

ARCHITECT

# STRATA

ARCHITECTURE



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CONSULTANT

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## HONEYBEE POOL RE-ROOF

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SHEET TITLE

### BUILDING SECTIONS

PROJECT NO. 427-24

DRAWN BY: MK

CHECKED BY: BJ

SCALE: 1/4" = 1'-0"

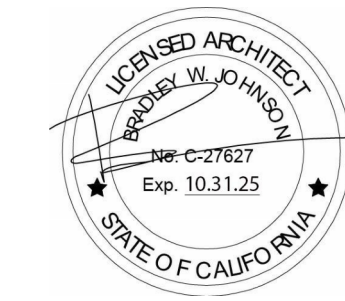
DRAWING NO.

# A4.01

SEE SHEET A2.02 FOR ALL ROOFING NOTES

### KEYNOTES

- REPLACE EXISTING RAINLEADER; ROUTE INTO (E) PREFINISHED METAL COLLECTION BOX(ES) AT SOFFIT(S).
- PARAPET COPING SYSTEM; SEE ROOF NOTES.



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REVISIONS

SUBMITTAL 3/15/24

SHEET TITLE

DETAILS

PROJECT NO. 427-24

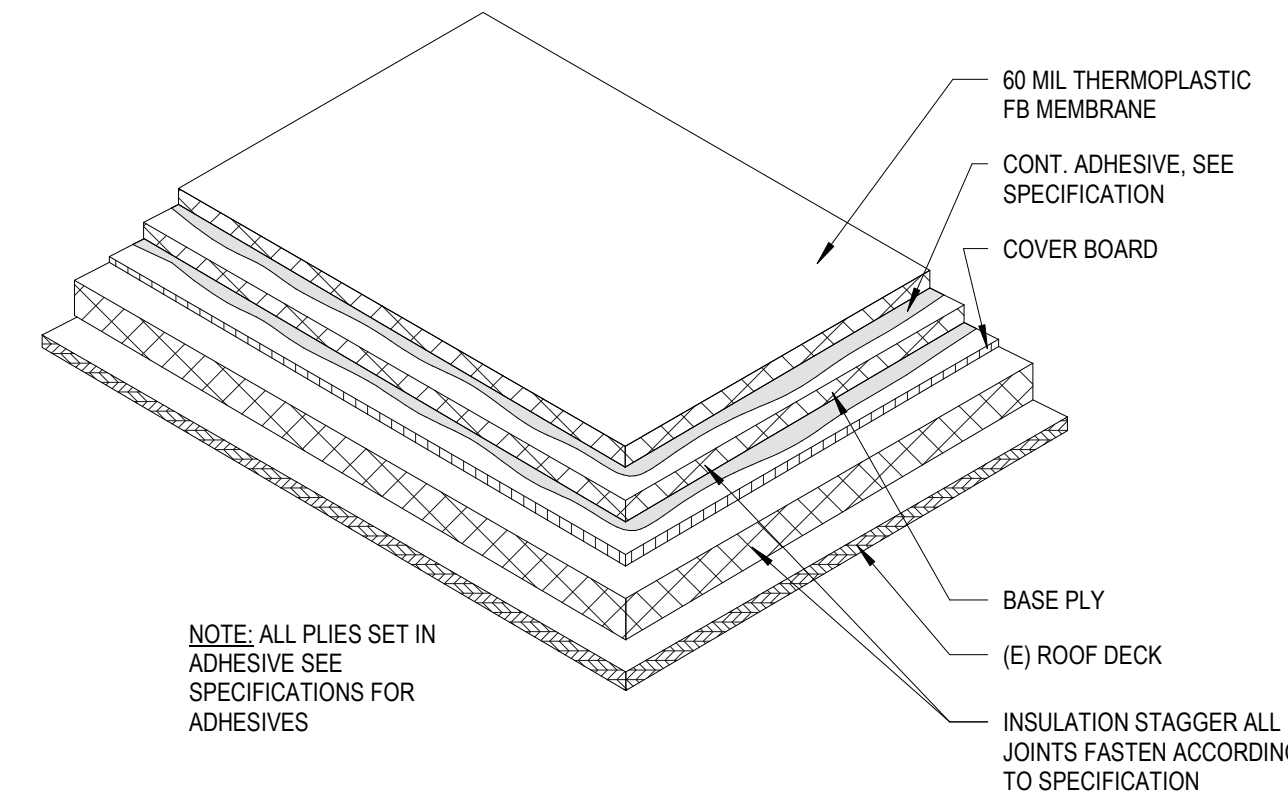
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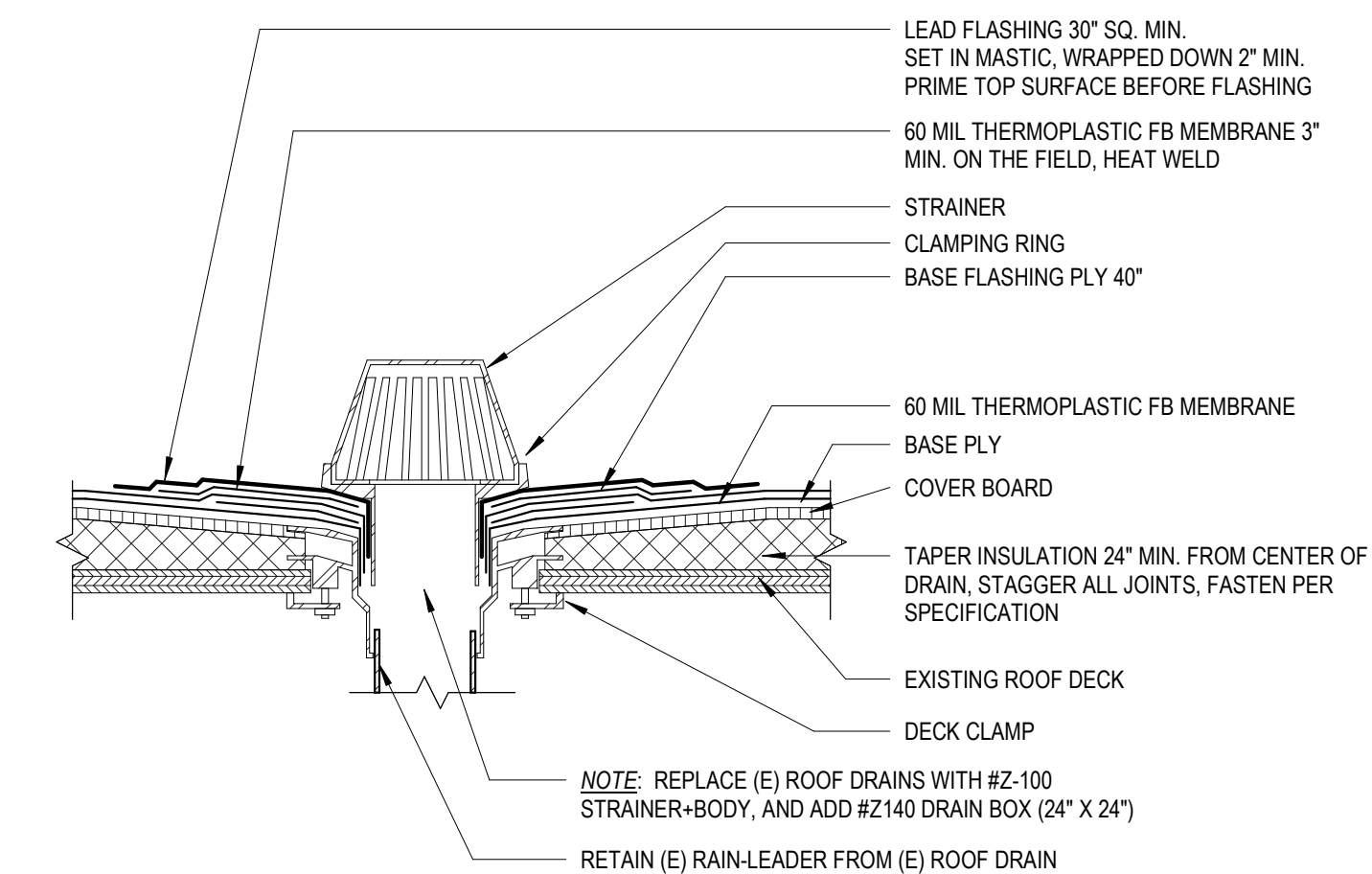
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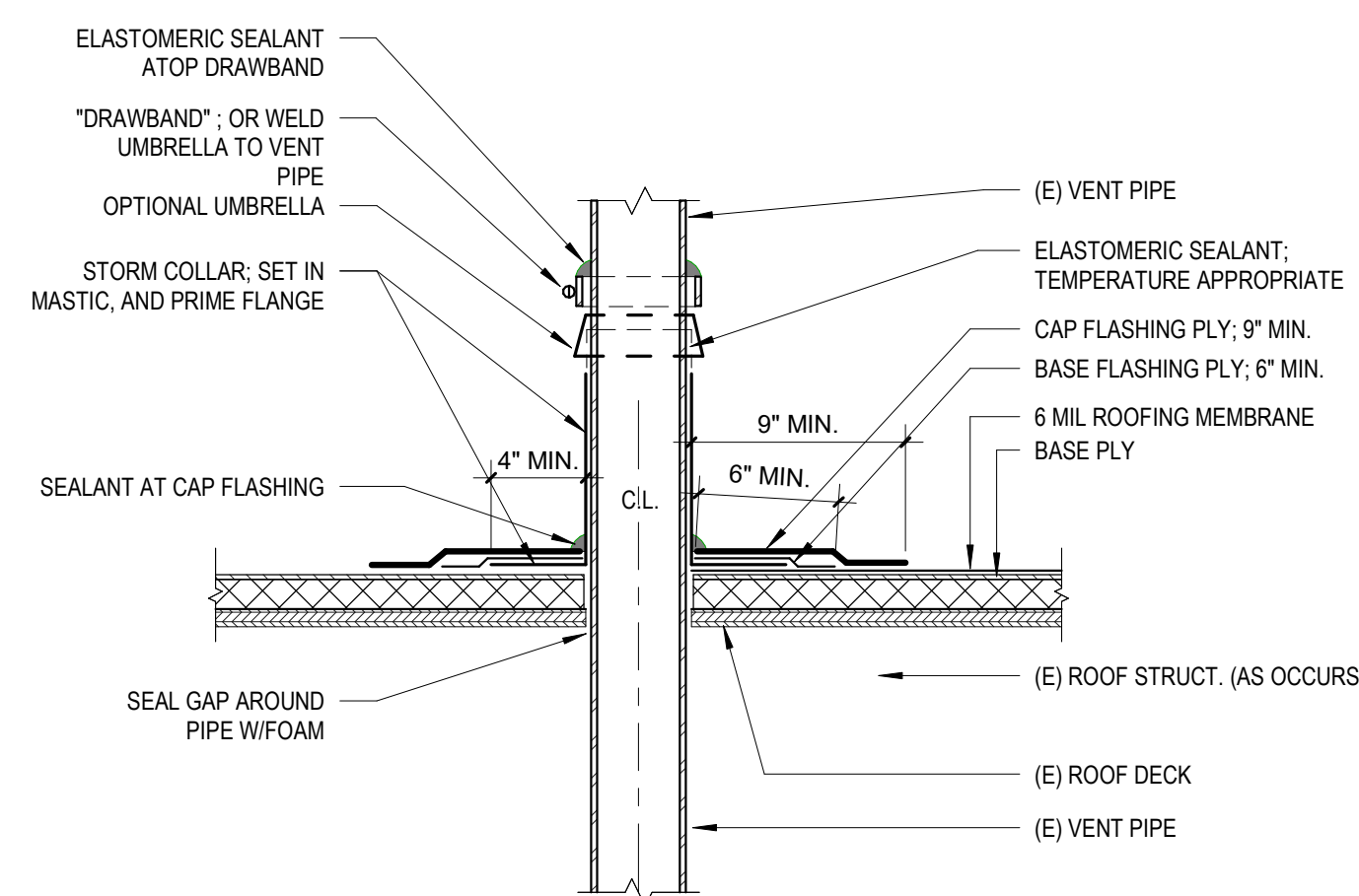
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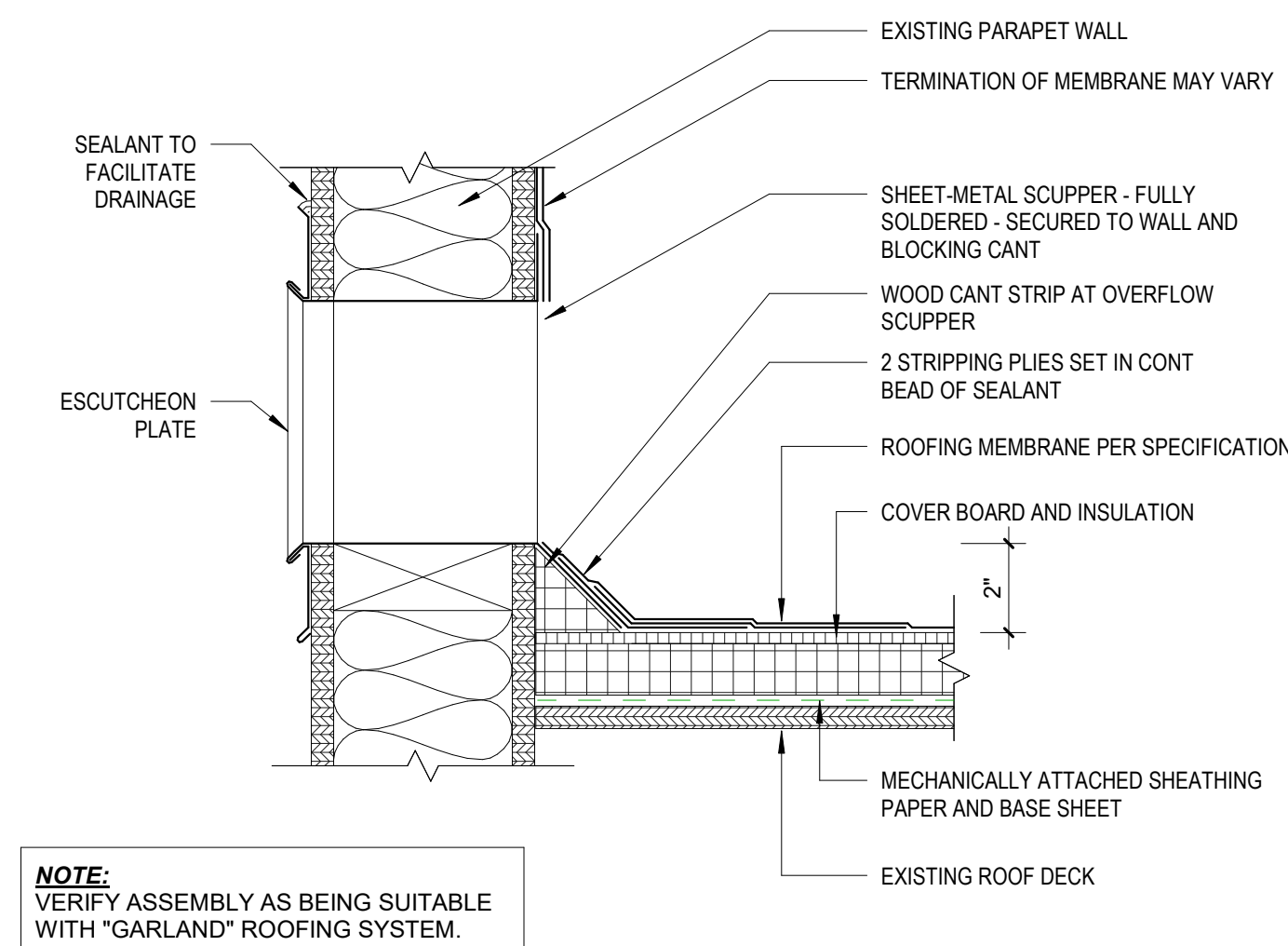
6 ROOFING PLYS  
 1" = 1'-0"



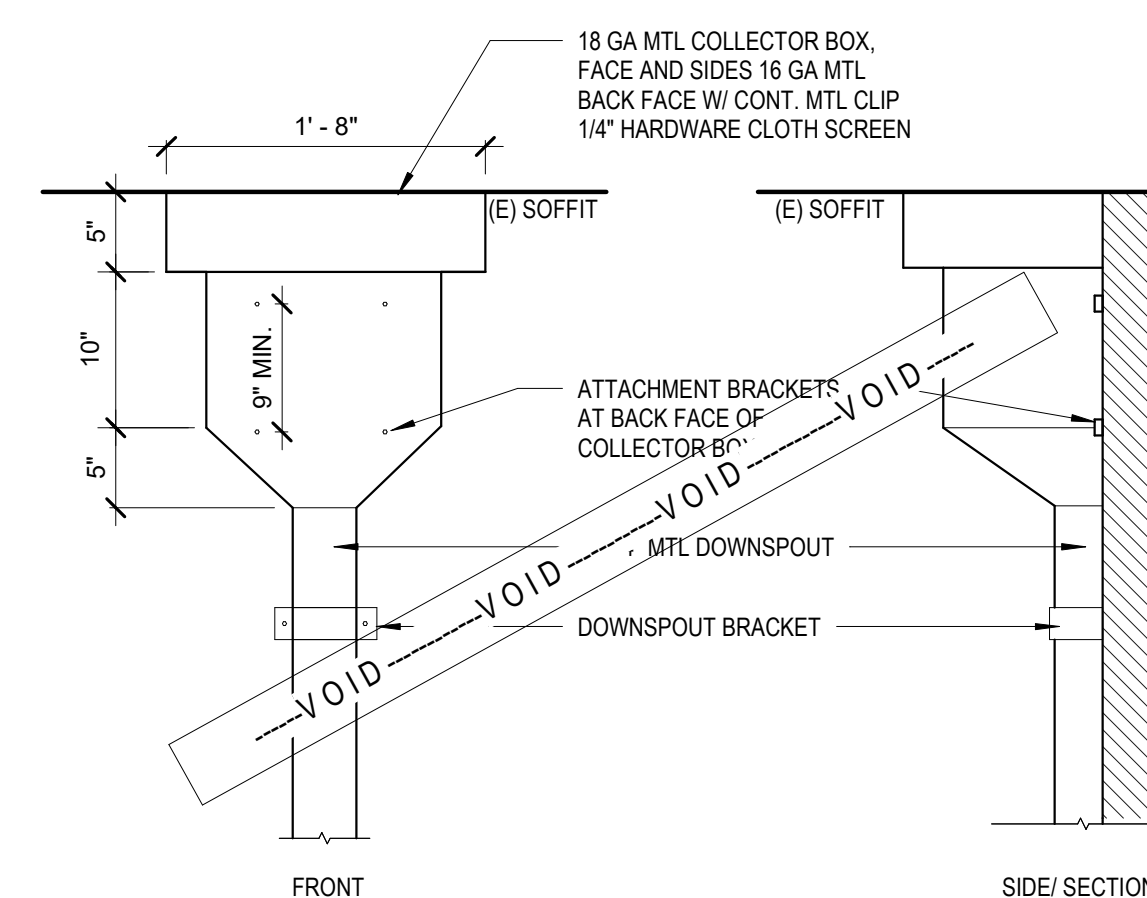
3 ROOF DRAIN  
 3" = 1'-0"



5 VENT THRU ROOF  
 1 1/2" = 1'-0"

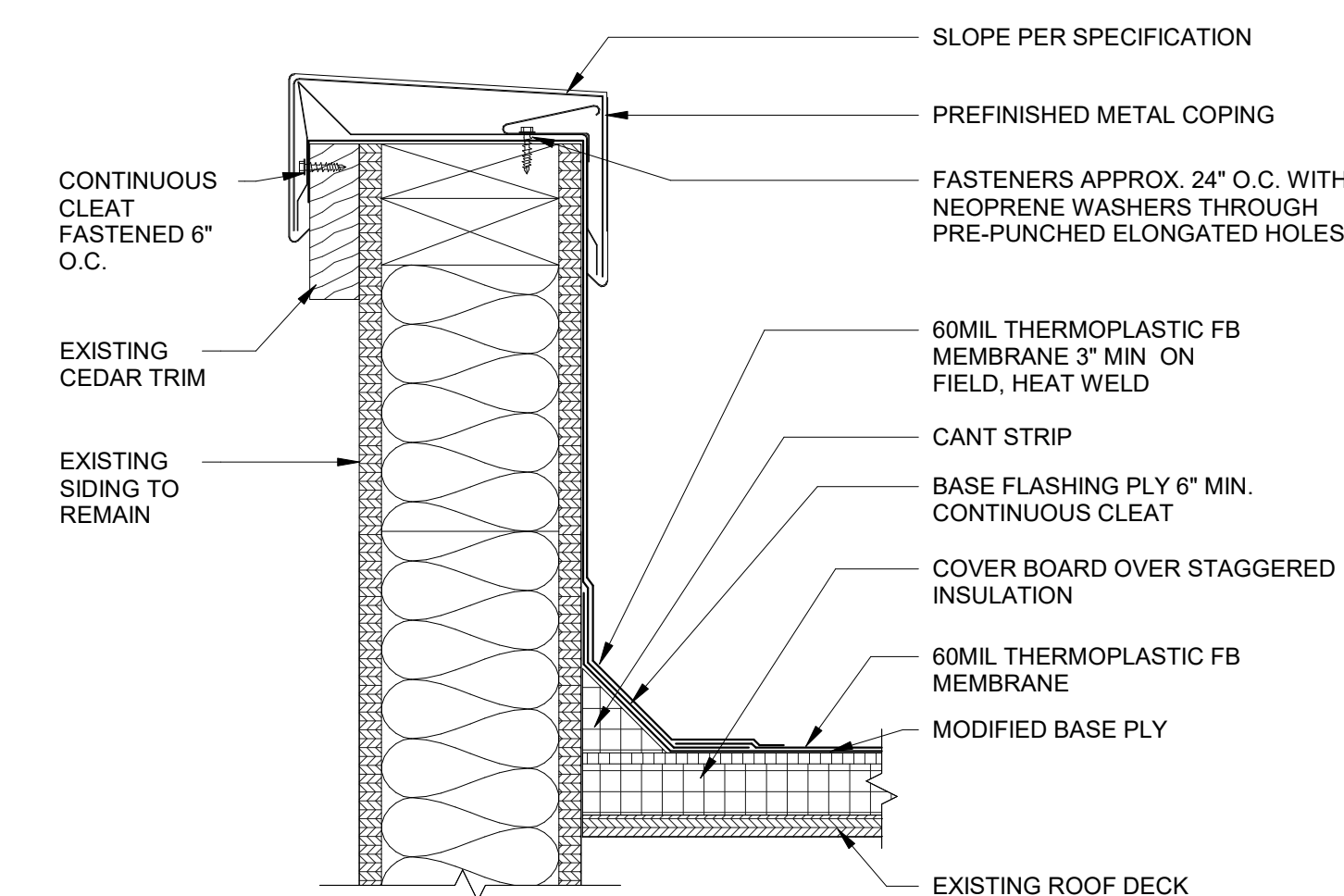


2 OVERFLOW DRAIN  
 3" = 1'-0"



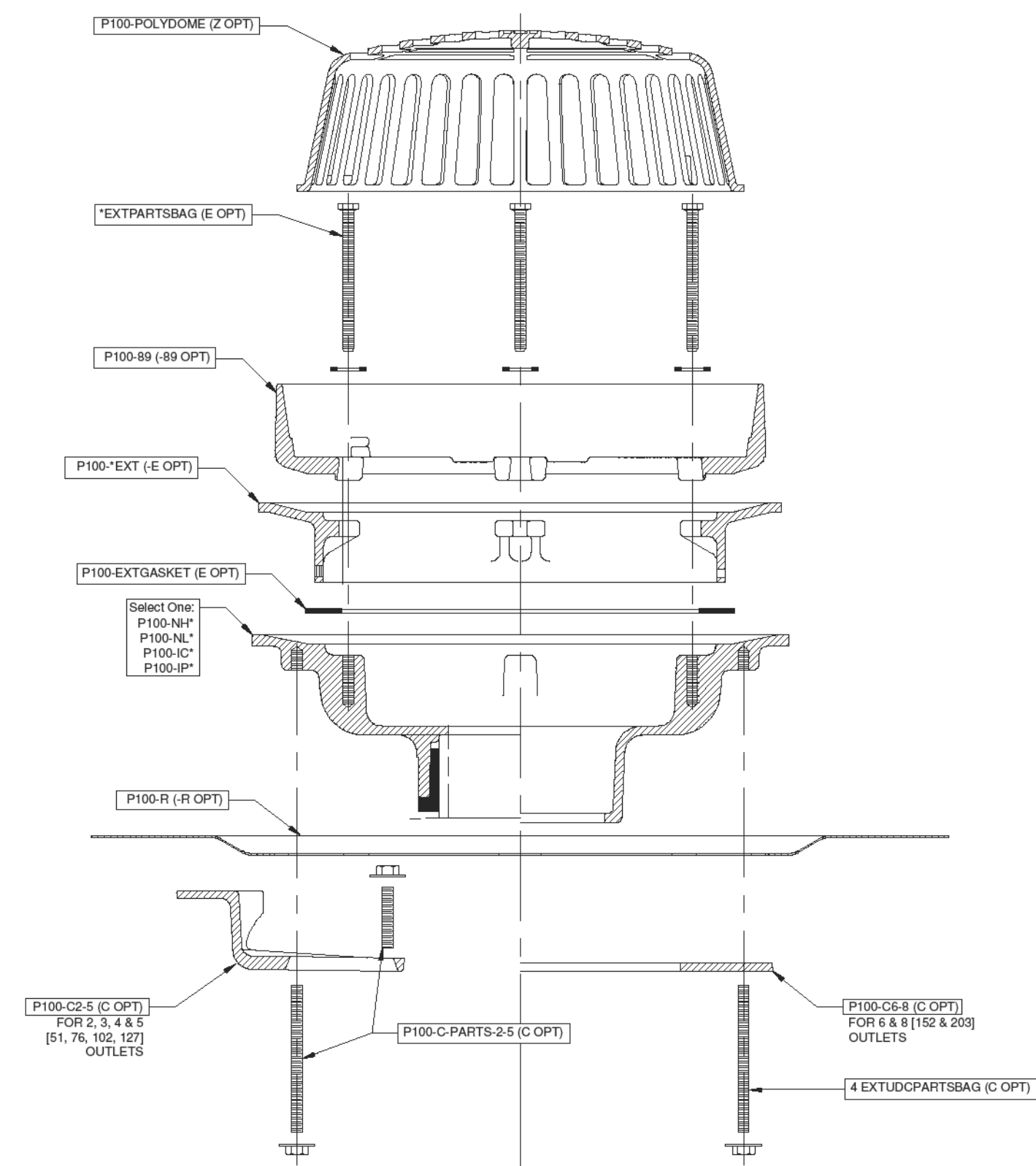
COLLECTOR BOX(ES) WERE REPLACED BY PREVIOUS CONTRACTOR, AS A RESULT, THEY DO NOT NEED REPLACEMENT. WORK UNDER THIS CONTRACT SHALL "PROTECT ALL COLLECTOR BOXES IN PLACE".

4 COLLECTOR BOX  
 1" = 1'-0"



1 PARAPET CAP  
 3" = 1'-0"

COMMON COMPONENTS  
**ZURN** Z100-C-E-R-89  
 15[381] DIAMETER MAIN ROOF DRAIN LOW SILHOUETTE DOME W/ UNDERDECK CLAMP, STATIC EXTENSION, ROOF SUMP RECEIVER AND EXTERNAL WATER DAM  
 Dimensional data (inches and (mm)) are subject to manufacturing tolerances and change without notice.



\* Size determined by Customer  
 Zurn Industries, LLC | Specification Drainage Operation  
 1801 Pittsburgh Avenue, Erie, PA, U.S.A. 16502 · Ph. 855-663-9876, Fax 814-454-7929  
 In Canada | Zurn Industries Limited  
 3544 Nashua Drive, Mississauga, Ontario L4V 1L2 · Ph. 905-405-8272, Fax 905-405-1292  
 www.zurn.com  
 Rev. A  
 Date: 08/09/2018  
 C.N. No. 140400  
 Form # RD111  
 Sheet 2 of 3

7 ROOF DRAIN ASSEMBLY  
 1" = 1'-0"